

## Existing Zoning Districts

The City Zoning Ordinance and its official Zoning Map has established a total of nine (9) Zoning Districts, as follows. Taken from the Zoning Ordinance, the intent statement for each zoning district is also provided.

***NR, Neighborhood Residential.*** Neighborhood Residential districts are defined by their collective character. To maintain this character, standards that ensure compatibility of size and style are critical. The existing character of Keego's residential neighborhoods is largely defined by the existing platted lots of record ranging in size from 30 feet to 50 feet wide. This greatly defines the character of the community as a pedestrian friendly, walkable community and the provisions of this Article are intended to preserve and enhance this character.

***R-M, Multiple Family Residential.*** The R-M Multiple-Family Residential District is intended to provide a proper environment for families who live in low-rise multiple family dwellings. Such families normally are smaller in size than those living in single-family dwellings. The RM District, in addition to being designed to furnish sites for various types of multiple-family dwelling structures, (including town houses, row houses, and apartments), also generally serves as a zone of transition between non-residential districts and lower density one-family residential districts.

***R-T, Townhouse Residential.*** The R-T Townhouse Residential District is intended to provide sites for single-family attached or townhouse residential structures, along with other residentially related uses. R-T districts are generally located to serve as a buffer or zone of transition between major thoroughfares, multiple family, or nonresidential uses and single-family residential neighborhoods. Townhouse residential development is differentiated from other types of multiple family residential development because it is designed to be compatible with single-family residential neighborhoods in building design, materials, and site layout.

***RMH, Mobile Home Park.*** The R-MH residential Mobile Home Park District is intended to provide a suitable environment with adequate space and proper supporting facilities for families and persons living in mobile home parks. All mobile home parks shall comply with Act 419 of 1976, as amended and meet all the requirements contained in this Ordinance.

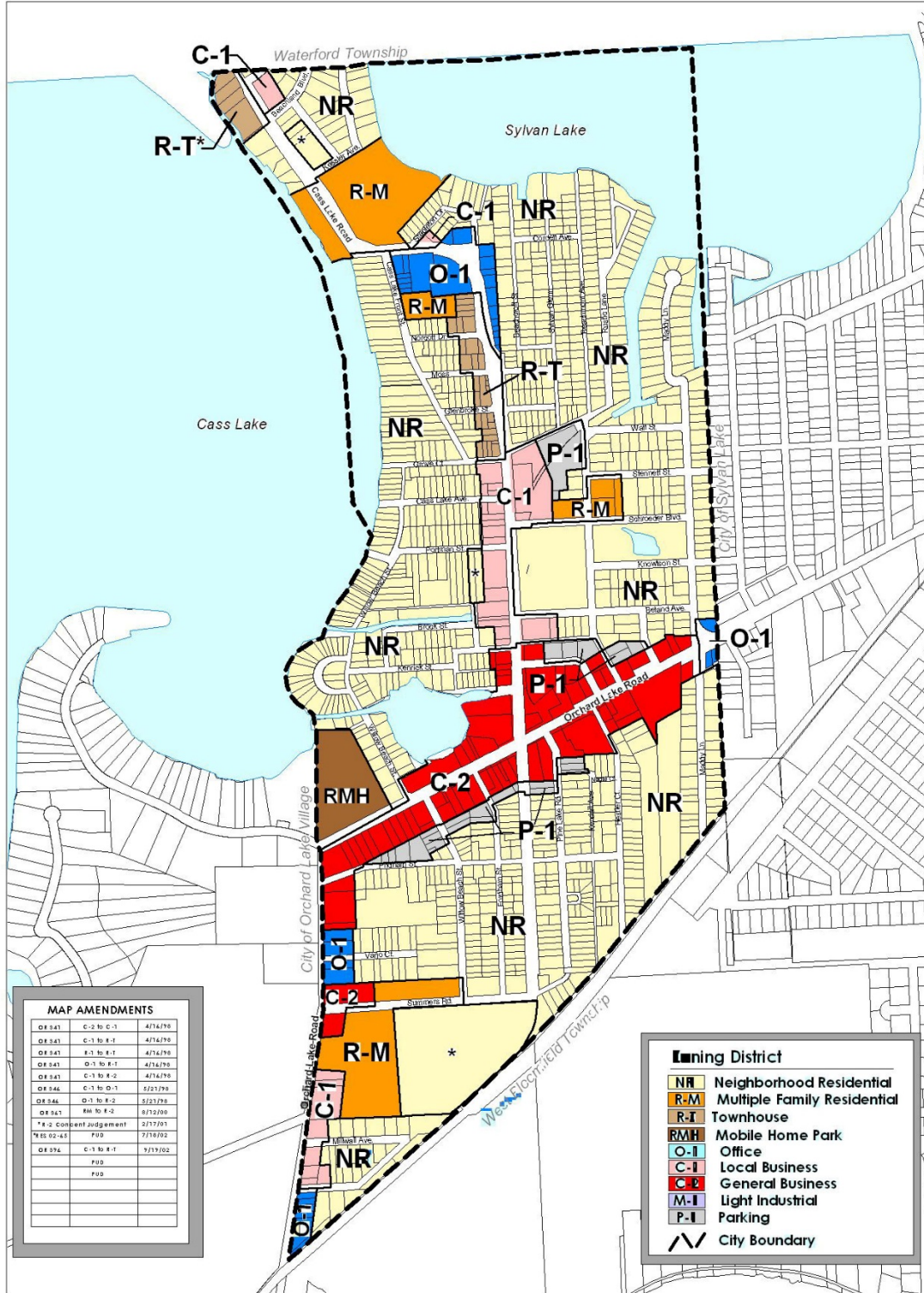
***O-1, Office.*** The O-1 Office Building Districts are designed to accommodate office uses, offices sales, and basic personal services.

***C-1 Local Business.*** The C-1 Local Business District is designated to meet the day-to-day convenience shopping and service needs of persons residing in adjacent residential areas. Protection of nearby residential districts is considered of importance, thus businesses which might tend to be a nuisance to immediately surrounding residential areas are excluded, even though the goods sold, or services offered might fall within the convenience classification.

**C-2, General Business.** The C-2 General Business District is designed to provide for a wide diversity of business activities. In addition to retail uses, several other activities, usually requiring considerable land area and access to major thoroughfares are permitted. Uses in this district normally must have good automobile accessibility, but shall not cause congestion on adjacent thoroughfares.

**M-1, Light Industrial.** The M-1 Light Industrial District is intended to accommodate certain industrial activities whose external effects are minimal and in no way detrimental to surrounding districts plus certain wholesale, warehousing, and intensive service activities of a nature such as not to justify their inclusion in any commercial use district, but whose external effects also are non-detrimental. All uses in the district are intended to be compatible with one another. Uses in this district shall emit a minimum of smoke, dust, dirt, odor, or gases, subject to the pollution standards of the State of Michigan, County of Oakland, and City of Keego Harbor. All uses located within this district shall be so designed and operated as to produce no sound or vibration discernible at the property lines more than the normal intensity of street or traffic noises or vibration noticeable at such points, nor any production of heat or glare noticeable at such points. Manufacturing uses in the district normally involve the manufacturing, compounding, processing, packaging, assembly, or treatment of finished or semi-finished products from previously prepared material.

**P-1, Vehicular Parking.** The P-1 Vehicular Parking District is intended to provide locations for publicly or privately owned off-street parking for passenger vehicles in areas where the public interest justifies such parking. Usually, this parking is designed to serve a district which has developed without adequate off-street parking facilities. It also may serve as a transitional use buffer between residential and nonresidential uses.



The parcel lines of this map are representative of the actual parcel lines and are not intended to be substituted for an official survey or used to resolve boundary or area issues. Consult official City of Keego Harbor records for dimensions and areas of parcels and boundaries.

Base map Source: Oakland County

## Zoning Districts

### MAP 9

